

Lots 473-476

992
SPI76511
CANAL

472
SP324353
Stage 2N

477
SEE SHEET 2







476
824 m²

475
796 m²

474
782 m²

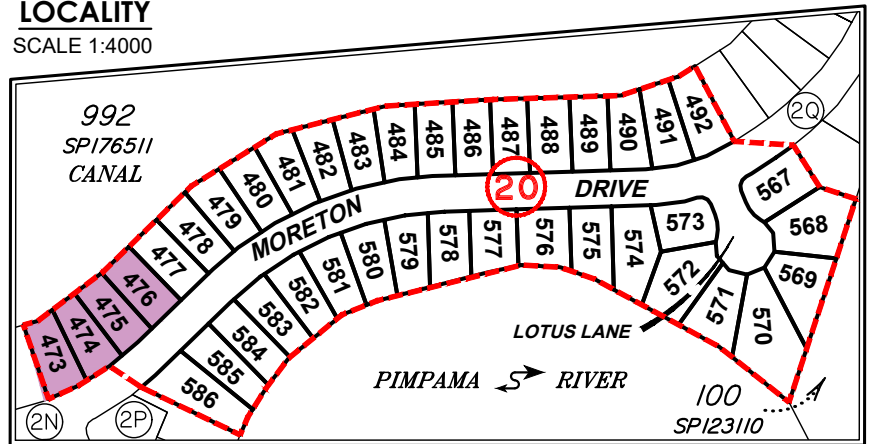
473
810 m²

LEGEND

-  Approximate Cut Area
 -  Approximate Fill Area
 -  -2.4- Design Contours
 -  Denotes 10m setback area exclusive of buildings
 -  Denotes existing concrete revetment wall
 -  I-0 • Denotes depth of fill
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.

LOCALITY

SCALE 1:4000



Scale 1:600

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
3. Contour Interval 0.25m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotments 473-476 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

Revision A - Original Issue 11/06/2025 (DJL).



Sheet 1 of 10

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Title: **Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)**

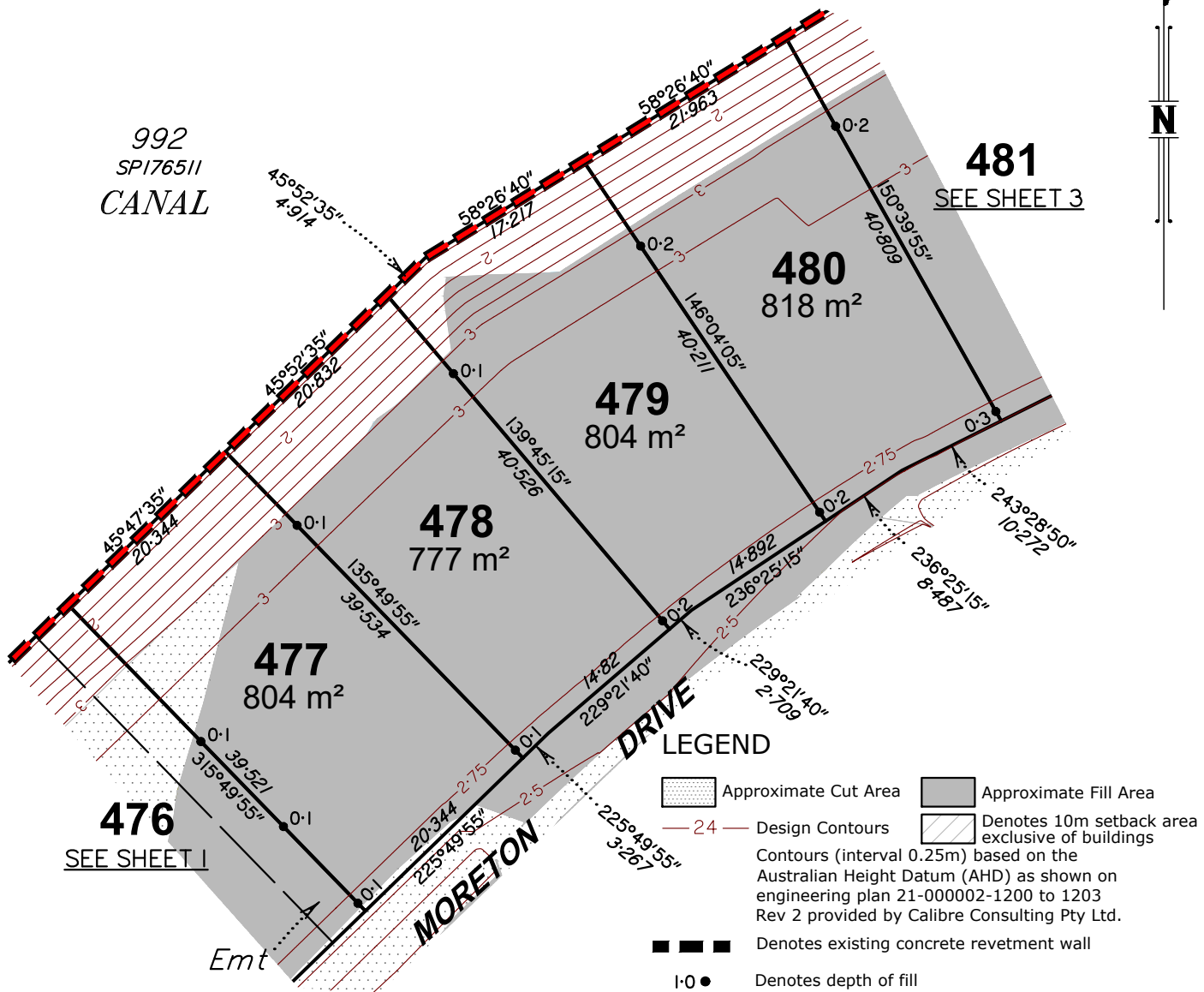
on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

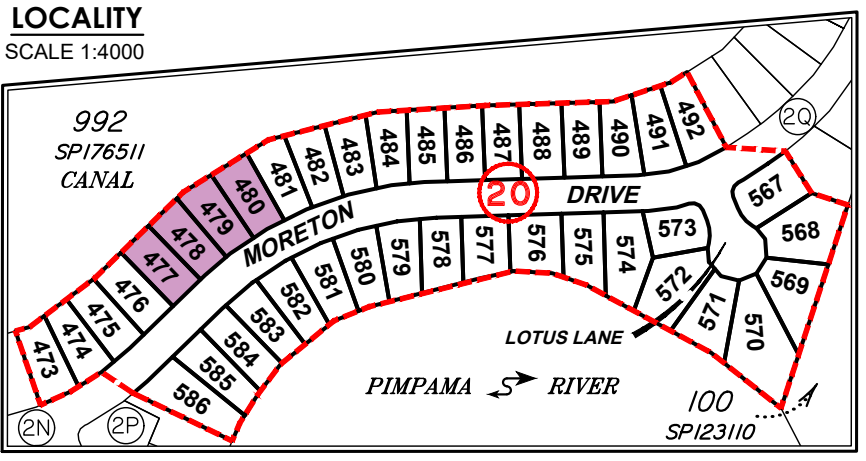
Client: **ROCHE GROUP PTY LTD**

Locality:	JACOBS WELL	
Local Gov:	GCCC	Prepared By: BJL
Surveyed By:	SF	Approved: RC
Date Created:	28/01/2022	Scale: 1:600
Comp File:	180649.project	
Plan No:	180649_489_DIS	

Lots 477-480



- Notes:**
1. Drawn to Scale on A4 sheet.
 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
 3. Contour Interval 0.25m
 4. All dimensions and areas are subject to final survey and approval by GCCC.
 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
 7. This plan shows details of Proposed Allotments 477- 480 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.



Revision A - Original Issue 11/06/2025 (DJL).



Sheet 2 of 10

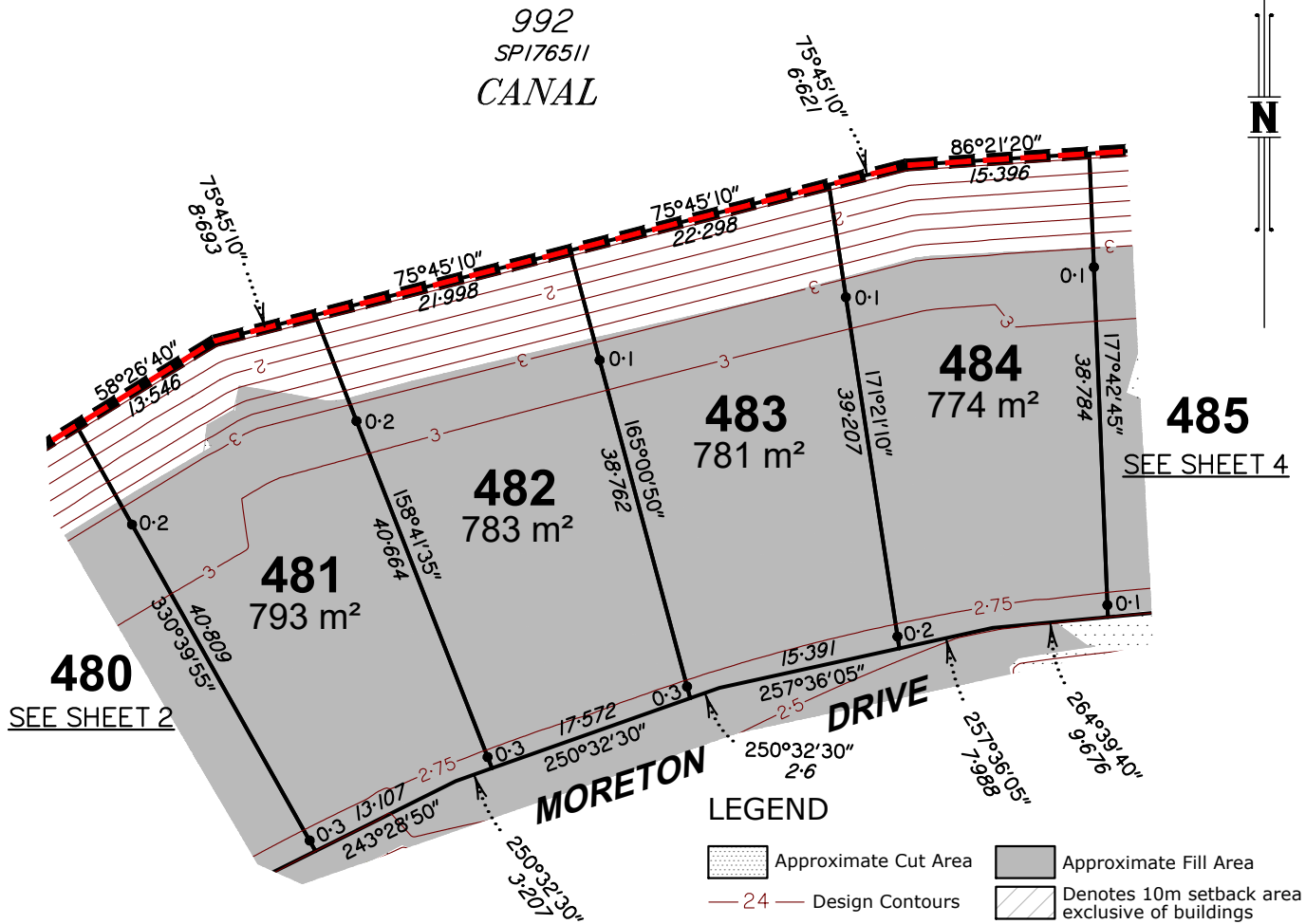
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Surveying, Town Planning & Spatial Services
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Title: Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)
 on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)
 This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: ROCHE GROUP PTY LTD

Locality:	JACOBS WELL
Local Gov:	GCCC
Prepared By:	BJL
Surveyed By:	SF
Approved:	RC
Date Created:	28/01/2022
Scale:	1:600
Comp File:	180649.project
Plan No:	180649_489_DIS

Lots 481-484

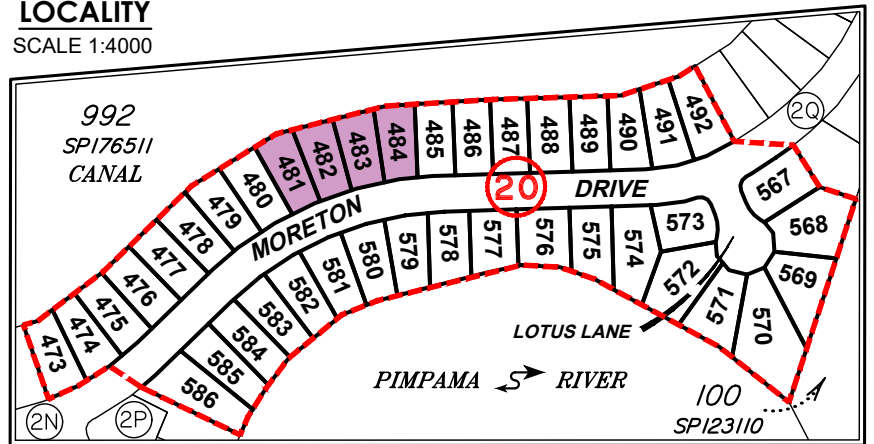


LEGEND

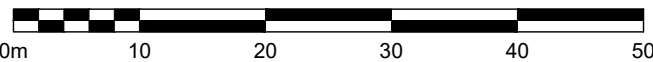
- Approximate Cut Area
 - Approximate Fill Area
 - 2.4- Design Contours
 - Denotes 10m setback area exclusive of buildings
 - Denotes existing concrete revetment wall
 - I-0 • Denotes depth of fill
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.

LOCALITY

SCALE 1:4000



Scale 1:600



- Notes:
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 3. Contour Interval 0.25m
 4. All dimensions and areas are subject to final survey and approval by GCCC.
 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
 7. This plan shows details of Proposed Allotments 481-484 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

Revision A - Original Issue 11/06/2025 (DJL).

Sheet 3 of 10



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Title: **Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)**

on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

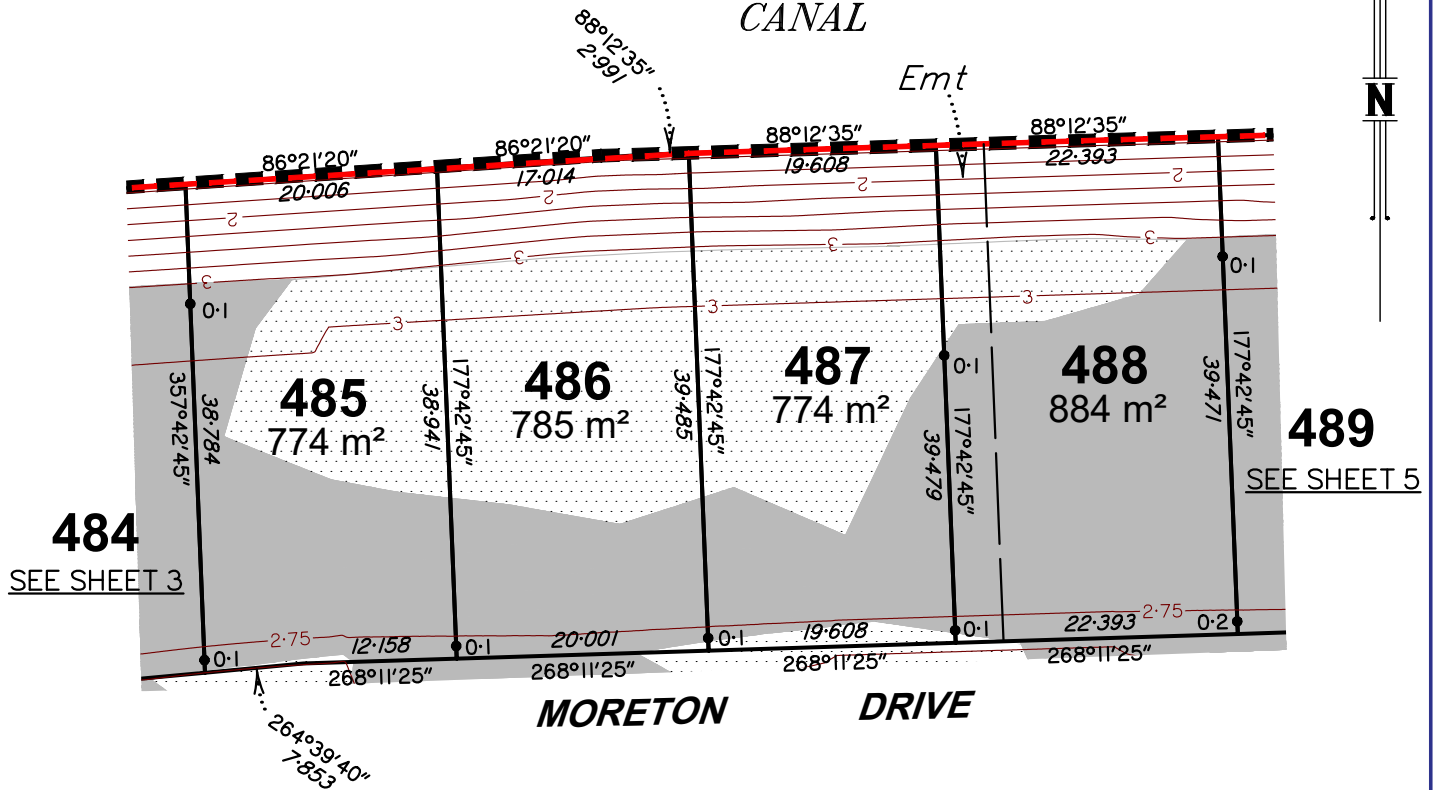
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Client: **ROCHE GROUP PTY LTD**

Locality:	JACOBS WELL	
Local Gov:	GCCC	Prepared By: BJL
Surveyed By:	SF	Approved: RC
Date Created:	28/01/2022	Scale: 1:600
Comp File:	180649.project	
Plan No:	180649_489_DIS	

Lots 485-488

992
SPI76511
CANAL

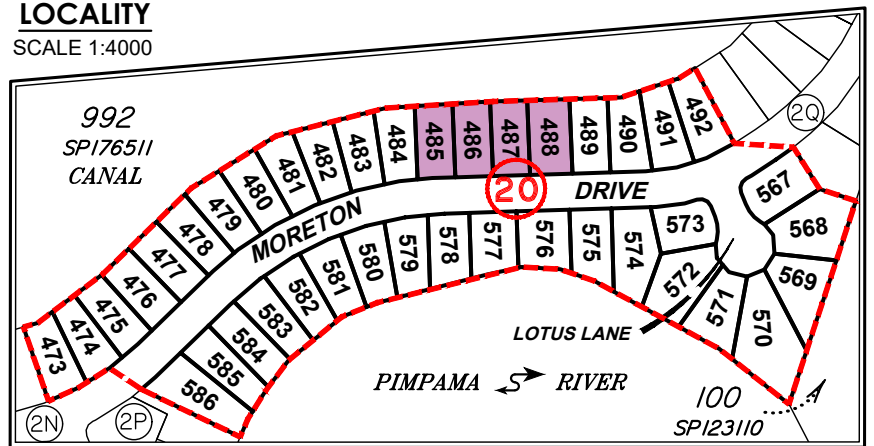


LEGEND

- Approximate Cut Area
 - Approximate Fill Area
 - 24- Design Contours
 - Denotes 10m setback area exclusive of buildings
 - Denotes existing concrete revetment wall
 - 0.0 Denotes depth of fill
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.

LOCALITY

SCALE 1:4000



Scale 1:600

- Notes:
1. Drawn to Scale on A4 sheet.
 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
 3. Contour Interval 0.25m
 4. All dimensions and areas are subject to final survey and approval by GCCC.
 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
 7. This plan shows details of Proposed Allotments 485-488 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

Revision A - Original Issue 11/06/2025 (DJL).



Sheet 4 of 10



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Title: Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)

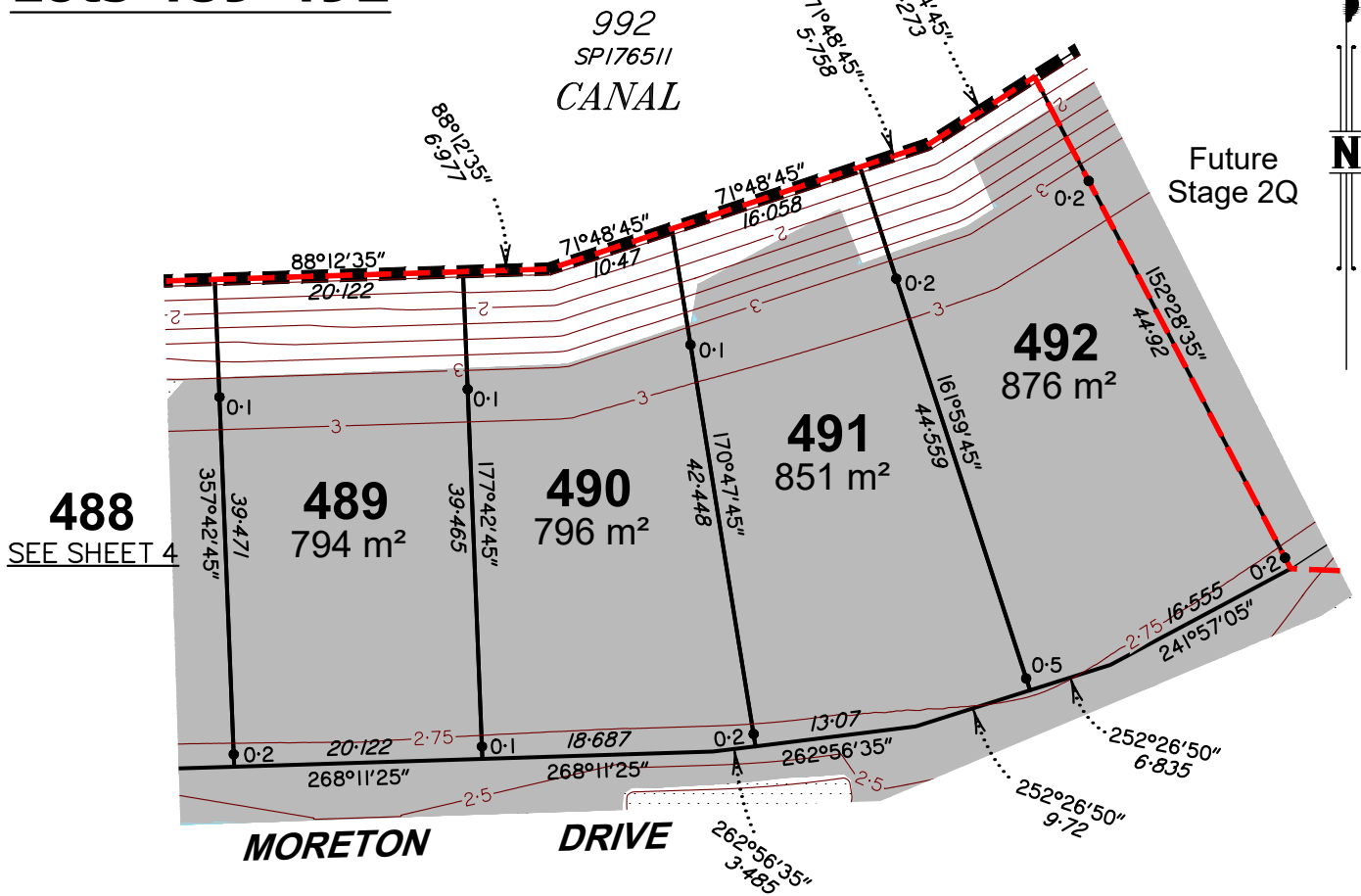
on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

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Client: ROCHE GROUP PTY LTD

Locality:	JACOBS WELL	
Local Gov:	GCCC	Prepared By: BJL
Surveyed By:	SF	Approved: RC
Date Created:	28/01/2022	Scale: 1:600
Comp File:	180649.project	
Plan No:	180649_489_DIS	

Lots 489-492



LEGEND

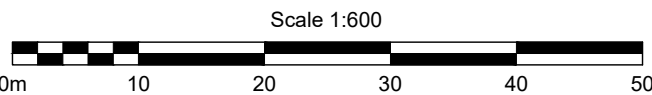
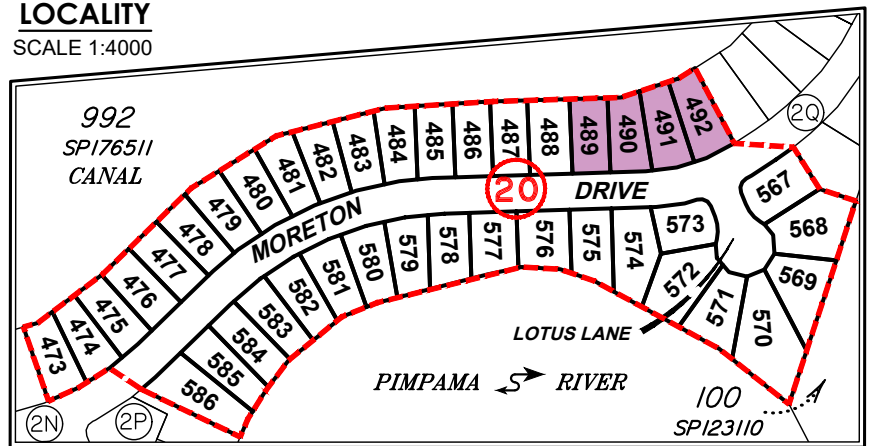
- Approximate Cut Area
- Approximate Fill Area
- 2.4 — Design Contours
- Denotes 10m setback area exclusive of buildings
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.
- Denotes existing concrete revetment wall
- I-0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
3. Contour Interval 0.25m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotments 489-492 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

LOCALITY

SCALE 1:4000



Revision A - Original Issue 11/06/2025 (DJL).

Sheet 5 of 10



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Title: **Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)**

on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

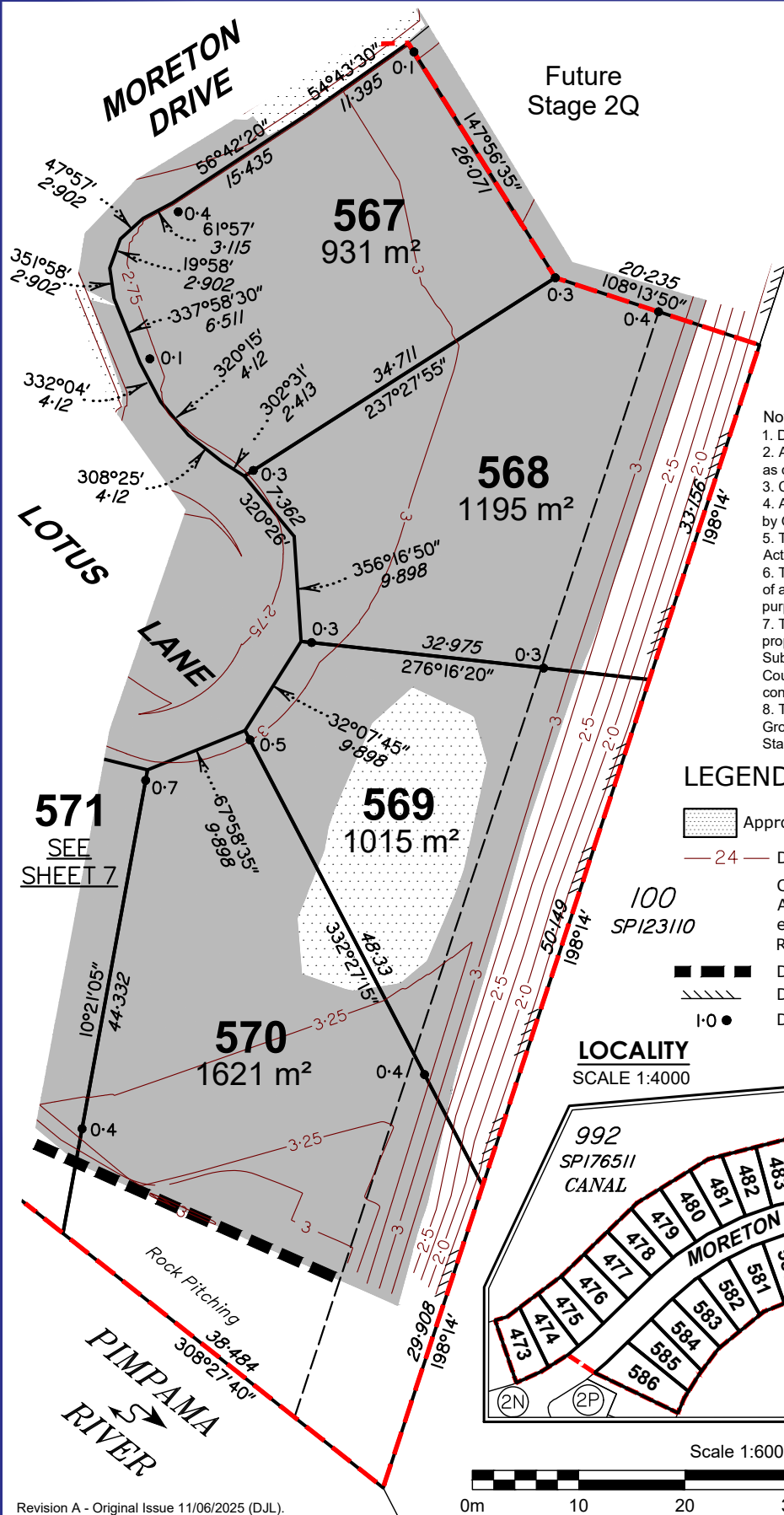
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Client: **ROCHE GROUP PTY LTD**

Locality:	JACOBS WELL	
Local Gov:	GCCC	Prepared By: BJL
Surveyed By:	SF	Approved: RC
Date Created:	28/01/2022	Scale: 1:600
Comp File:	180649.project	
Plan No:	180649_489_DIS	

Lots 567-570

Future Stage 2Q



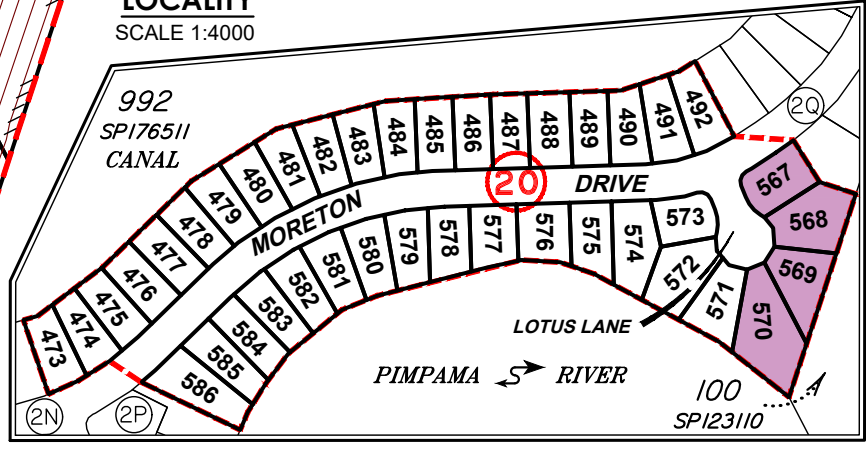
Notes:

1. Drawn to Scale on A4 sheet.
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3. Contour Interval 0.25m
4. All dimensions and areas are subject to final survey and approval by GCCC.
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7. This plan shows details of Proposed Allotments 567-570 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
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LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Denotes 10m setback area exclusive of buildings
- Denotes existing concrete revetment wall
- Denotes existing concrete retaining wall
- I-0 • Denotes depth of fill

LOCALITY
SCALE 1:4000



Scale 1:600



Sheet 6 of 10

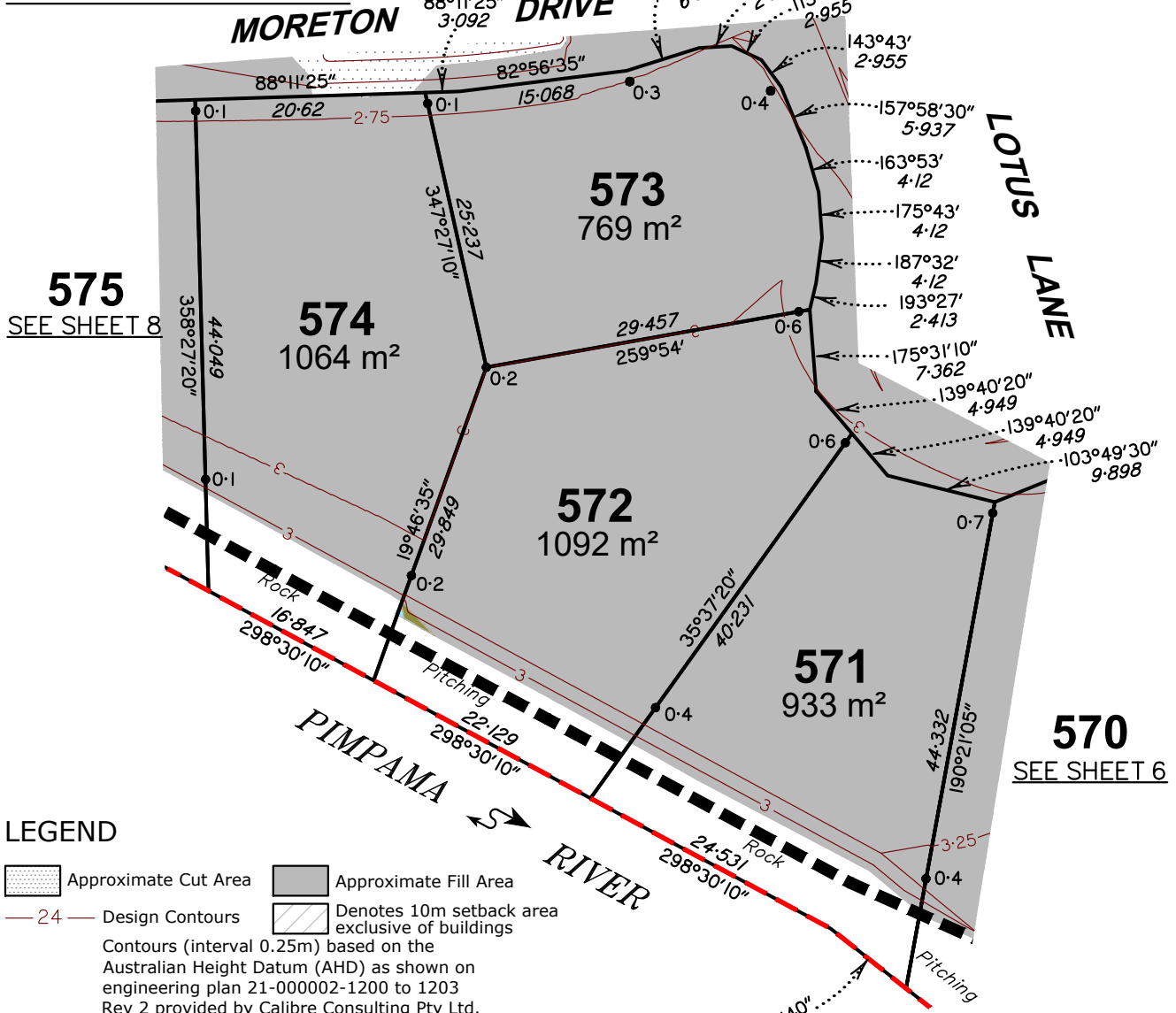
Revision A - Original Issue 11/06/2025 (DJL).

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 on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)
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Client:	ROCHE GROUP PTY LTD		
Locality:	JACOBS WELL		
Local Gov:	GCCC	Prepared By:	BJL
Surveyed By:	SF	Approved:	RC
Date Created:	28/01/2022	Scale:	1:600
Comp File:	180649.project		
Plan No:	180649_489_DIS		

Lots 571-574



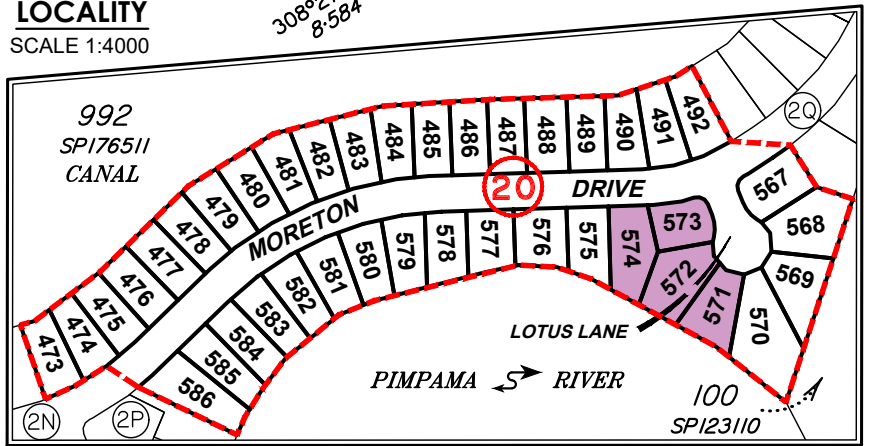
LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Denotes 10m setback area exclusive of buildings
- Denotes existing concrete revetment wall
- I-0 Denotes depth of fill

Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.

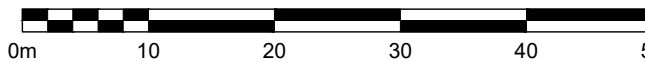
LOCALITY

SCALE 1:4000



- Notes:**
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 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
 3. Contour interval 0.25m
 4. All dimensions and areas are subject to final survey and approval by GCCC.
 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
 7. This plan shows details of Proposed Allotments 571-574 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

Revision A - Original Issue 11/06/2025 (DJL).



Sheet 7 of 10



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www.bennettandbennett.com.au

Title: **Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)**

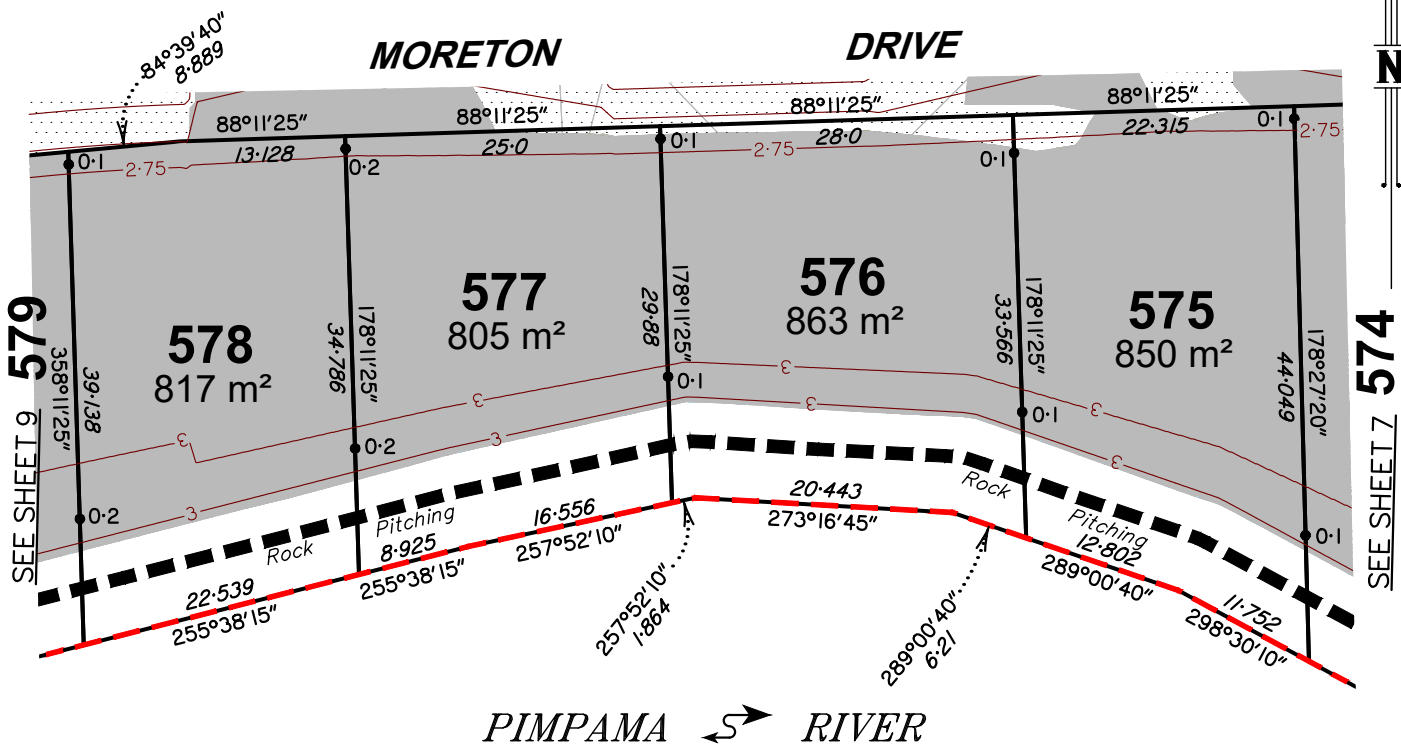
on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

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Client: **ROCHE GROUP PTY LTD**

Locality:	JACOBS WELL
Local Gov:	GCCC
Prepared By:	BJL
Surveyed By:	SF
Approved:	RC
Date Created:	28/01/2022
Scale:	1:600
Comp File:	180649.project
Plan No:	180649_489_DIS

Lots 575-578



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Denotes 10m setback area exclusive of buildings
- Denotes existing concrete revetment wall
- 1-0 Denotes depth of fill

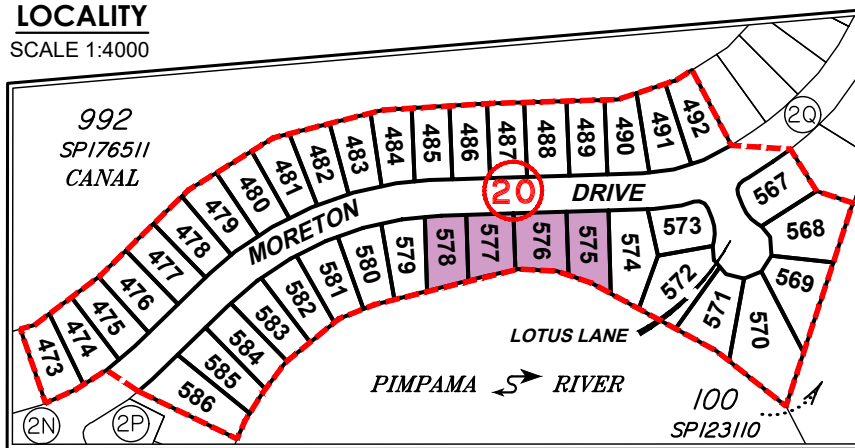
Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.

Notes:

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7. This plan shows details of Proposed Allotments 575-578 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
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LOCALITY

SCALE 1:4000



Scale 1:600



Revision A - Original Issue 11/06/2025 (DJL).

Sheet 8 of 10



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www.bennettandbennett.com.au

Title: Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)

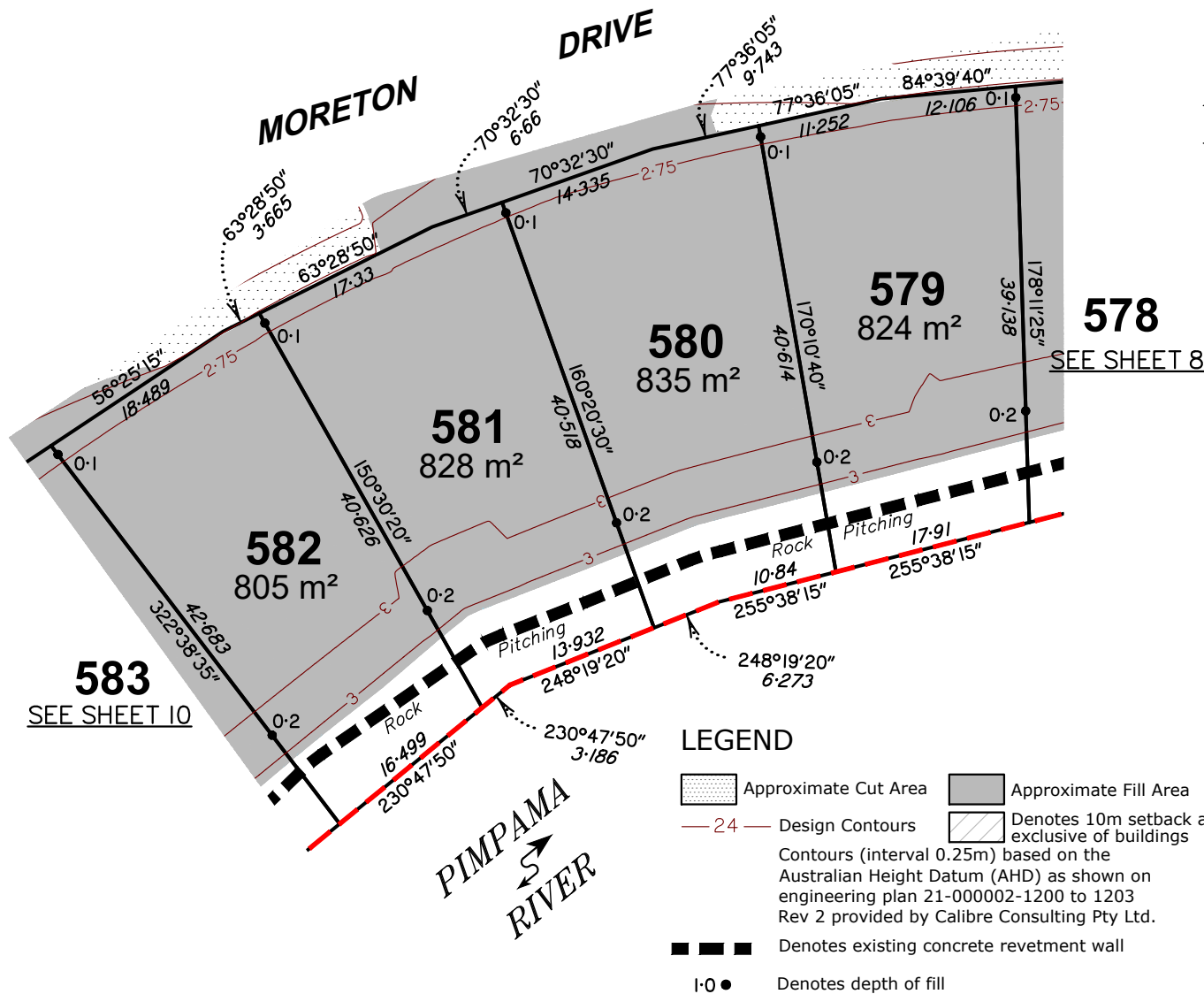
on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

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Client: ROCHE GROUP PTY LTD

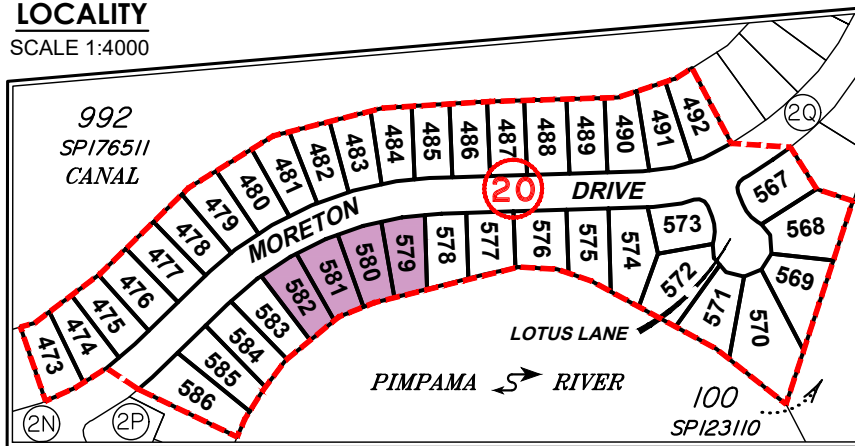
Locality:	JACOBS WELL
Local Gov:	GCCC
Prepared By:	BJL
Surveyed By:	SF
Approved:	RC
Date Created:	28/01/2022
Scale:	1:600
Comp File:	180649.project
Plan No:	180649_489_DIS

Lots 579-582



LOCALITY

SCALE 1:4000



- Notes:
1. Drawn to Scale on A4 sheet.
 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
 3. Contour interval 0.25m
 4. All dimensions and areas are subject to final survey and approval by GCCC.
 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
 7. This plan shows details of Proposed Allotments 579-582 on proposal plan 180649_416_PRO Rev H which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2021/42) on 23rd December, 2021 subject to conditions.
 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

Revision A - Original Issue 11/06/2025 (DJL).



Sheet 9 of 10

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Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title: **Disclosure Plans for Lots 473-492 & 567-586 (Stage 20)**

on Moreton Drive & Lotus Lane, Jacobs Well being Part of Lot 2005 on SP324354 (Calypso Bay)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

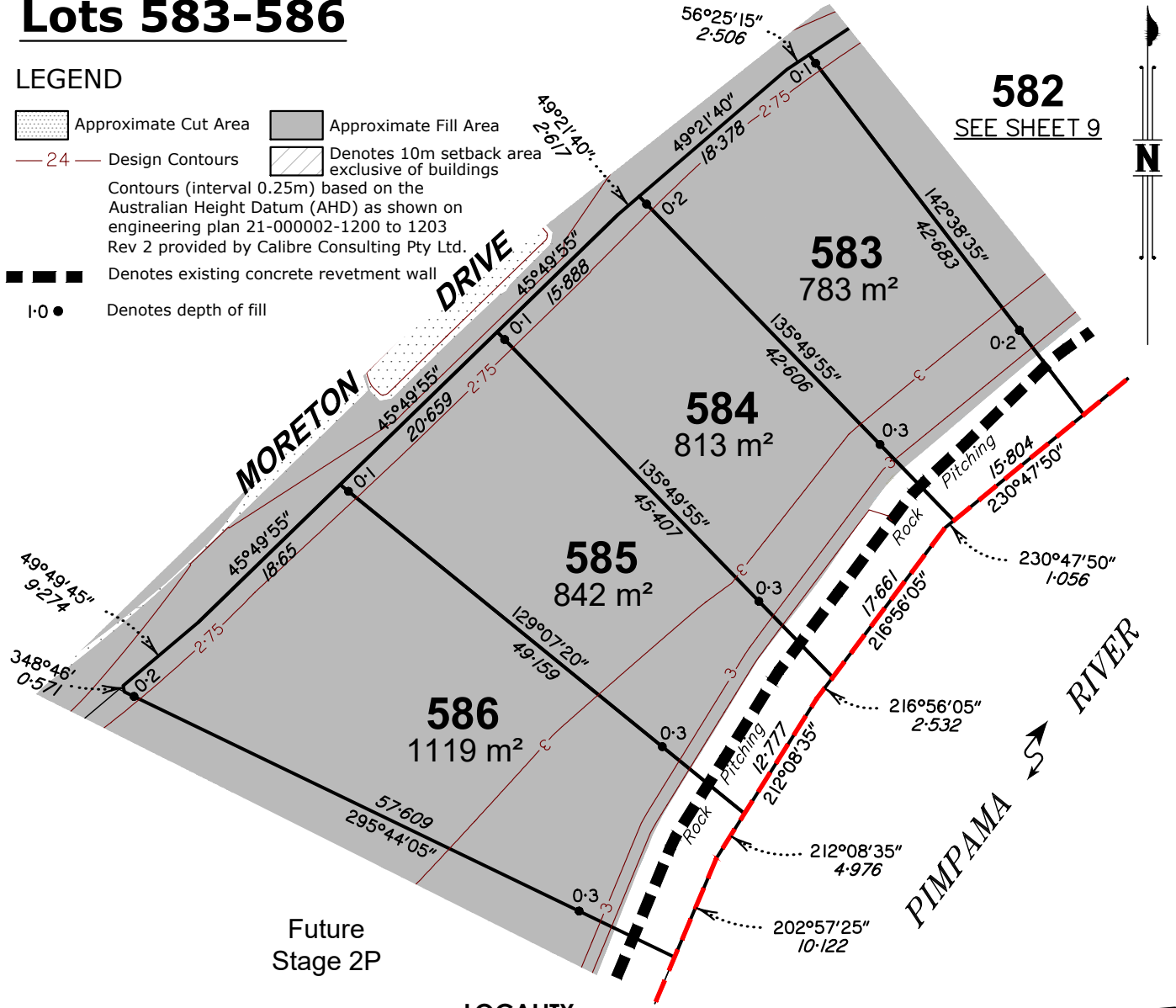
Client: **ROCHE GROUP PTY LTD**

Locality:	JACOBS WELL
Local Gov:	GCCC
Prepared By:	BJL
Surveyed By:	SF
Approved:	RC
Date Created:	28/01/2022
Scale:	1:600
Comp File:	180649.project
Plan No:	180649_489_DIS

Lots 583-586

LEGEND

- Approximate Cut Area
 - Approximate Fill Area
 - Design Contours
 - Denotes 10m setback area exclusive of buildings
 - Denotes existing concrete revetment wall
 - Denotes depth of fill
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 21-000002-1200 to 1203 Rev 2 provided by Calibre Consulting Pty Ltd.

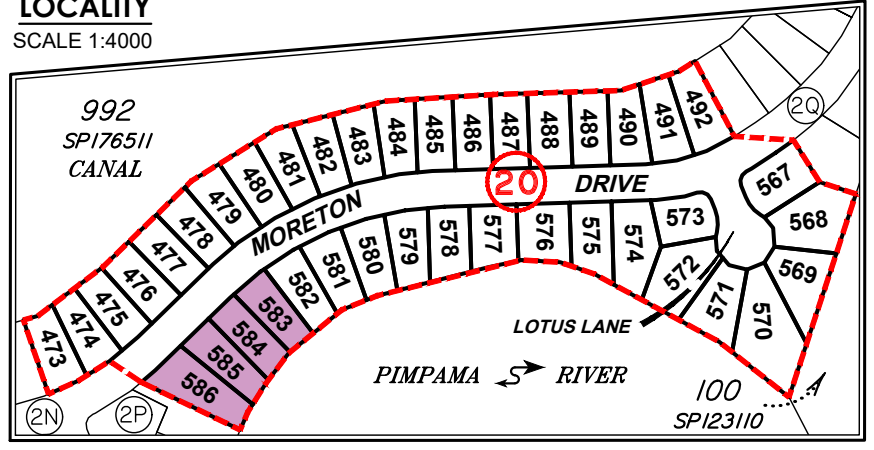


582
SEE SHEET 9

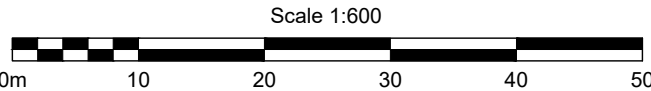


LOCALITY

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Scale 1:600
Sheet 10 of 10

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