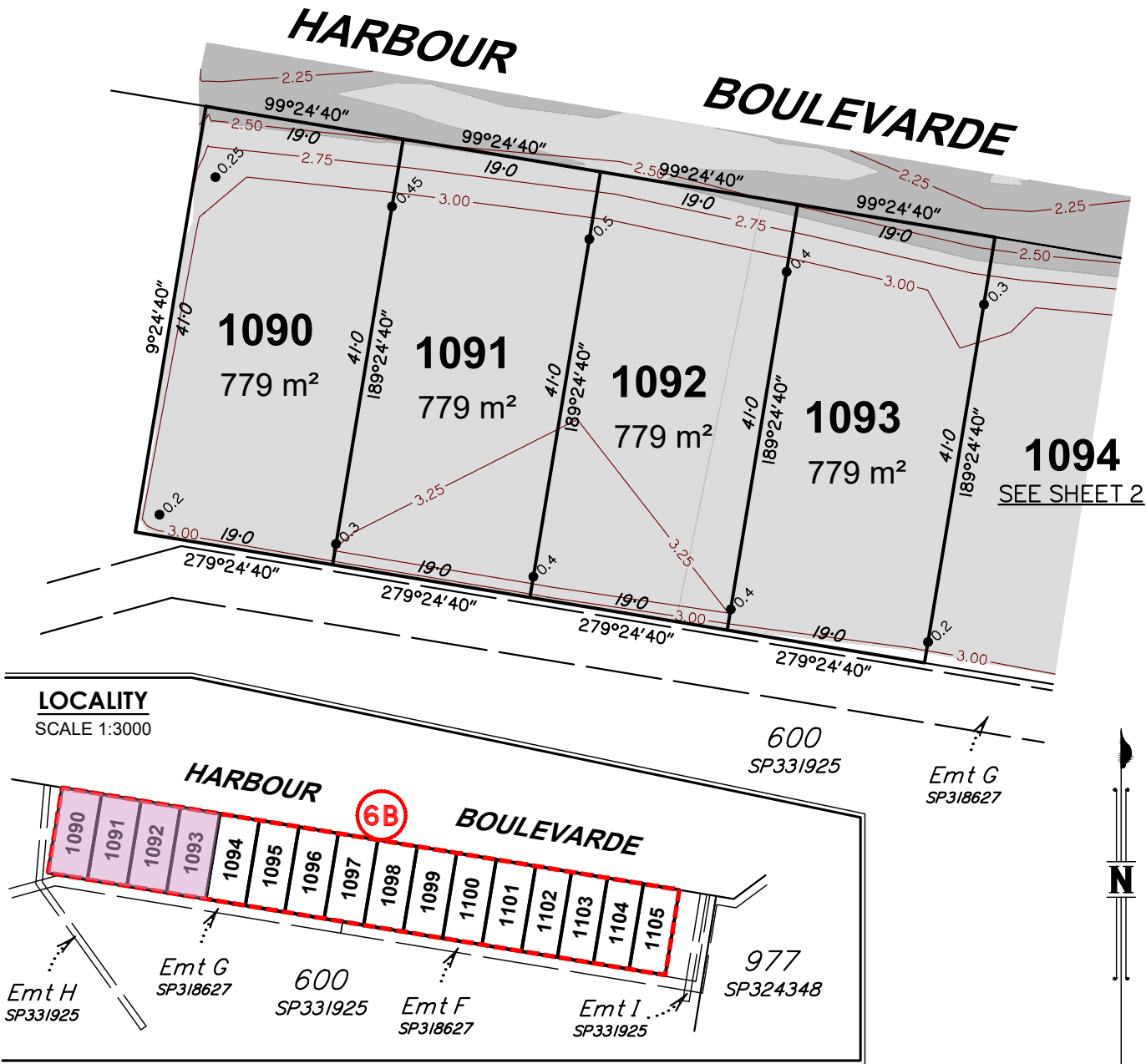


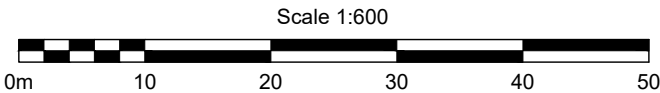


- Notes:
- 1. Drawn to Scale on A4 sheet.
 - 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
 - 3. Contour Interval 0.25m
 - 4. All dimensions and areas are subject to final survey and approval by GCCC.
 - 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
 - 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
 - 7. This plan shows details of Proposed Allotments 1090-1093 on proposal plan 180649_482_PRO Rev E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 subject to conditions.
 - 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 22-000069-1200 Rev 2 provided by Egis Group.
- 1.0 ● Denotes depth of fill

Revision A - Original Issue 20/08/2024 (ARS).



Sheet 1 of 4

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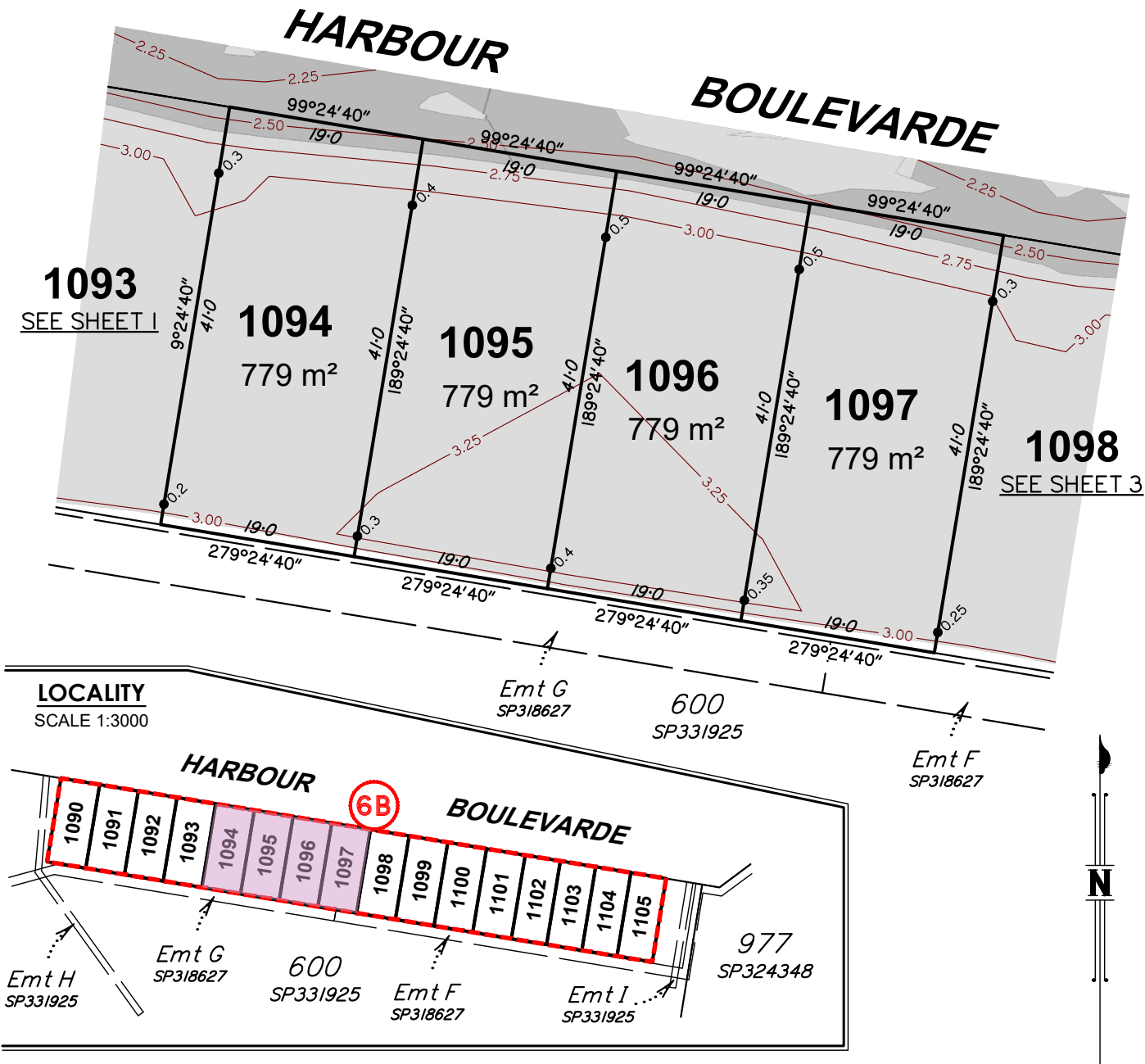
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Title: **Disclosure Plan**
for Lots 1090-1105 (Stage 6B)
Harbour Boulevard, Jacobs Well
being Part of Lot 601 on SP331925
(Calypso Bay)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	ROCHE GROUP PTY LTD		
Locality:	JACOBS WELL		
Local Gov:	GCCC	Prepared By:	ARS
Surveyed By:	SF	Approved:	SF
Date Created:	20/08/2024	Scale:	1:600
Comp File:	180649.project		
Plan No:	180649_624_DIS		



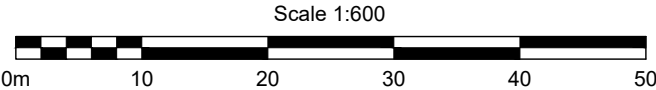
Notes:

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3. Contour Interval 0.25m
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6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotments 1094-1097 on proposal plan 180649_482_PRO Rev E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 subject to conditions.
8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

LEGEND

- Approximate Cut Area Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 22-000069-1200 Rev 2 provided by Egis Group.
- I-0 ● Denotes depth of fill

Revision A - Original Issue 20/08/2024 (ARS).



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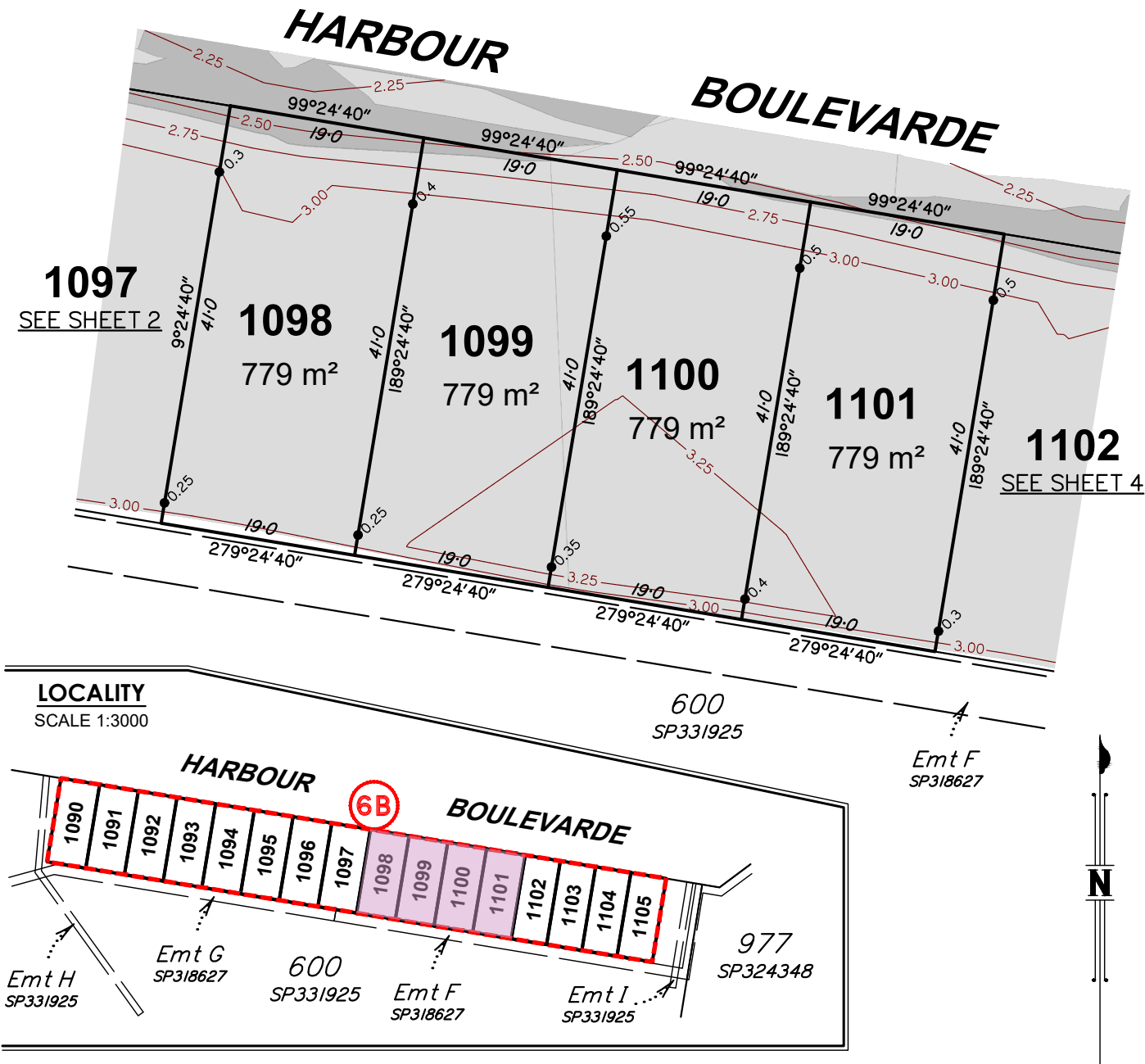
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Title: **Disclosure Plan**
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Harbour Boulevard, Jacobs Well
being Part of Lot 601 on SP331925
(Calypso Bay)

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Locality:	JACOBS WELL		
Local Gov:	GCCC	Prepared By:	ARS
Surveyed By:	SF	Approved:	SF
Date Created:	20/08/2024	Scale:	1:600
Comp File:	180649.project		
Plan No:	180649_624_DIS		



Notes:

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2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
3. Contour Interval 0.25m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotments 1098-1101 on proposal plan 180649_482_PRO Rev E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 subject to conditions.
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LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 22-000069-1200 Rev 2 provided by Egis Group.
- Denotes depth of fill

Scale 1:600



Revision A - Original Issue 20/08/2024 (ARS).

Sheet 3 of 4



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Title:

Disclosure Plan
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Harbour Boulevard, Jacobs Well
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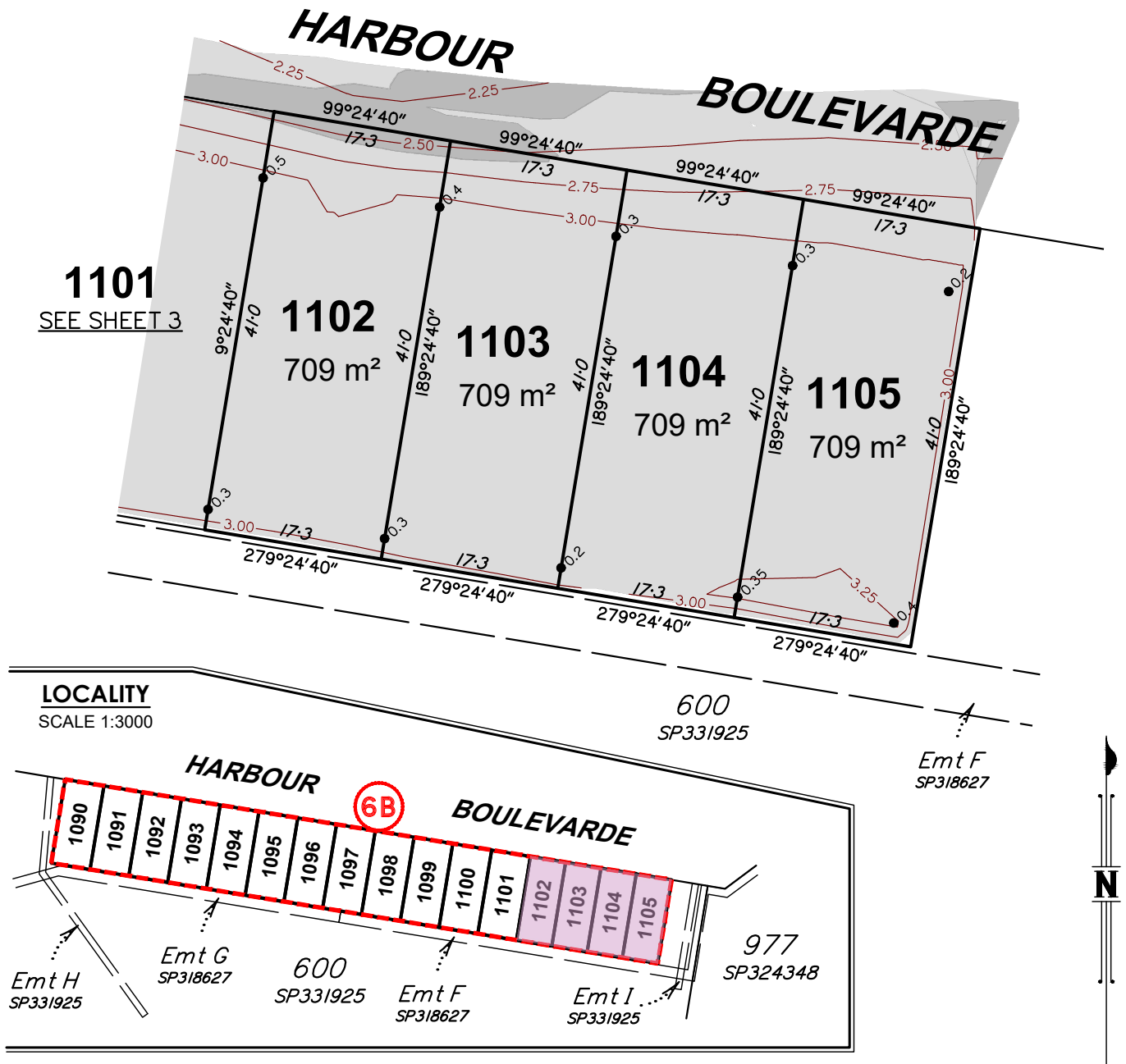
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Client:

ROCHE GROUP PTY LTD

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Comp File:	180649.project		
Plan No:	180649_624_DIS		

Lots 1102-1105



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7. This plan shows details of Proposed Allotments 1102-1105 on proposal plan 180649_482_PRO Rev E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 subject to conditions.
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LEGEND

- Approximate Cut Area Approximate Fill Area
- 24 — Design Contours
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Scale 1:600



Revision A - Original Issue 20/08/2024 (ARS).

Sheet 4 of 4



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Title:

Disclosure Plan
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Client:

ROCHE GROUP PTY LTD

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