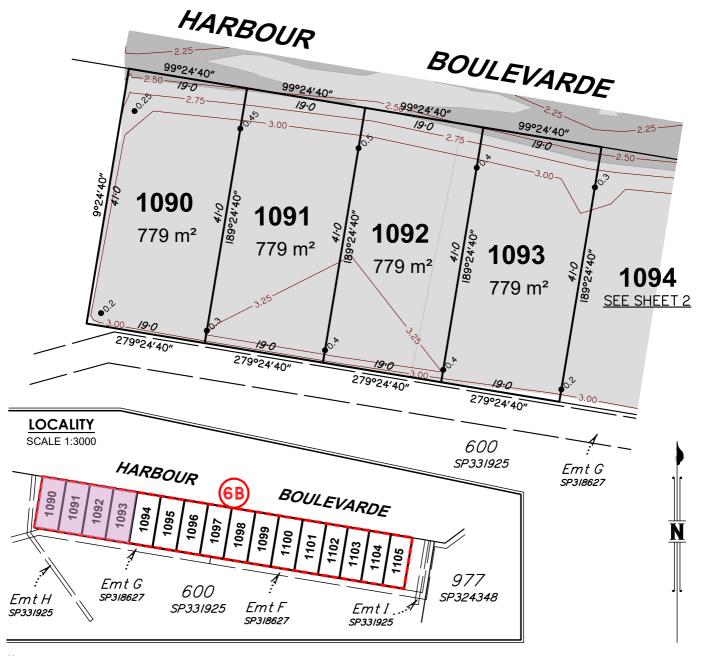
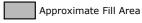
Lots 1090-1093



- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
- 3. Contour Interval 0.25m
- 4. All dimensions and areas are subject to final survey and approval by GCCC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a sales contract and must not be used for any other purpose
- 7. This plan shows details of Proposed Allotments 1090-1093 on proposal plan 180649 482 PRO Rev E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 subject to conditions
- 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

LEGEND

Approximate Cut Area



Design Contours

Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 22-000069-1200 Rev 2 provided by Egis Group.

Denotes depth of fill 1.0

Scale 1:600

Revision A - Original Issue 20/08/2024 (ARS).

0m 10 20 30 40 50

Sheet 1 of 4

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Disclosure Plan Title: for Lots 1090-1105 (Stage 6B)

Harbour Boulevarde, Jacobs Well being Part of Lot 601 on SP331925 (Calypso Bay)

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ROCHE GROUP PTY LTD Client:

		Approved: Scale:	SF 1:600
Surveyed By: SF		Approved:	SF
Local Gov: GC	CC	Prepared By:	ARS
Locality: JA0	COBS WELL		

Lots 1094-1097 HARBOUR BOULEVARDE 99°24′40″ 19.0 99°24'40" -3.00 99024'40" 99°24′40″ 1093 SEE SHEET I & 1094 1095 1096 779 m² 779 m² 1097 779 m² 1098 779 m² **SEE SHEET 3** 279°24′40″ 279°24′40 279°24′40″ Emt G **LOCALITY** 600 SP318627 SCALE 1:3000 SP331925 HARBOUR Emt F SP318627 BOULEVARDE 977 Emt G 600 SP324348 SP318627 Emt H Emt F SP331925 Emt I SP331925 SP318627 SP331925 1. Drawn to Scale on A4 sheet. **LEGEND** 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD. 3. Contour Interval 0.25m Approximate Cut Area Approximate Fill Area 4. All dimensions and areas are subject to final survey and approval by GCCC. 5. This plan has been prepared for disclosure under the Land Sales Act 1984. Design Contours 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a Contours (interval 0.25m) based on the sales contract and must not be used for any other purpose 7. This plan shows details of Proposed Allotments 1094-1097 on proposal plan Australian Height Datum (AHD) as shown on 180649 482 PRO Rev E which accompanied the Subdivision Application and was engineering plan 22-000069-1200 Rev 2 approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 provided by Egis Group. subject to conditions 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007. Denotes depth of fill 1.0

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Title: Disclosure Plan for Lots 1090-1105 (Stage 6B)

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0m

Harbour Boulevarde, Jacobs Well being Part of Lot 601 on \$P331925 (Calypso Bay)

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Scale 1:600

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Sheet 2 of 4

9_624_DIS
.project
024 Scale: 1:60
Approved: S
Prepared By: AR
S WELL

Lots 1098-1101 HARBOUR BOULEVARDE 99°24′40″ 99°24′40″ 2.50 -19.0 99024'40" 99°24′40″ 19.0 \$ 3.00 1097 3.00-SEE SHEET 2 & 1098 1099 1100 779 m² 779 m² 1101 779 m² 1102 779 m² **SEE SHEET 4** 3.00 279°24′40′ 279°24′40′ . 279°24′40″ **LOCALITY** 600 SCALE 1:3000 SP331925 HARBOUR Emt F SP318627 BOULEVARDE 977 Emt G 600 SP324348 SP318627 Emt H Emt F SP331925 Emt I SP331925 SP318627 SP331925 1. Drawn to Scale on A4 sheet. **LEGEND** 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD. 3. Contour Interval 0.25m Approximate Cut Area Approximate Fill Area 4. All dimensions and areas are subject to final survey and approval by GCCC. 5. This plan has been prepared for disclosure under the Land Sales Act 1984. Design Contours 6. This plan was prepared for Roche Group Pty Ltd for the purposes of accompanying a Contours (interval 0.25m) based on the sales contract and must not be used for any other purpose 7. This plan shows details of Proposed Allotments 1098-1101 on proposal plan Australian Height Datum (AHD) as shown on 180649 482 PRO Rev E which accompanied the Subdivision Application and was engineering plan 22-000069-1200 Rev 2 approved by the Gold Coast City Council (DA Ref: ROL/2022/58) on 10th October, 2022 provided by Egis Group. subject to conditions 8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

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Title:

Revision A - Original Issue 20/08/2024 (ARS).

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10 20 30 **Disclosure Plan**

Scale 1:600

for Lots 1090-1105 (Stage 6B) Harbour Boulevarde, Jacobs Well being Part of Lot 601 on SP331925 (Calypso Bay)

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Sheet 3 of 4

Denotes depth of fill

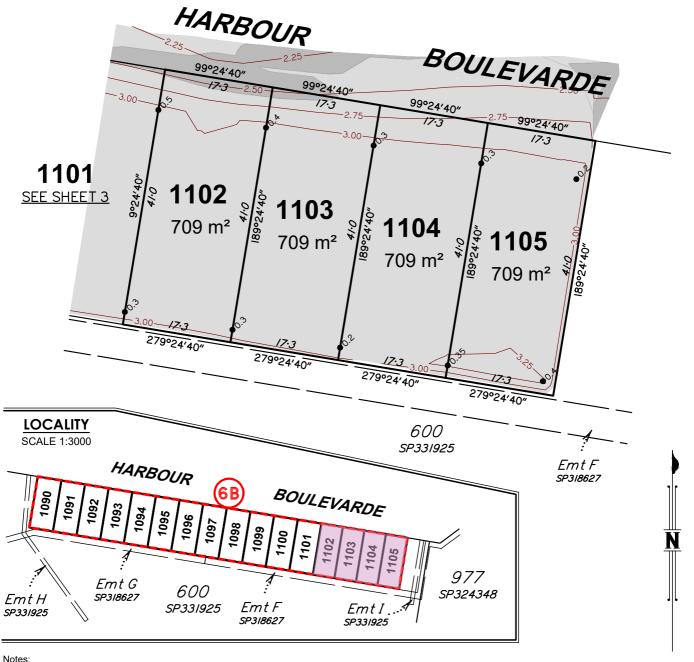
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1.0

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Comp File:	180649.proje	ct	
Date Created:	20/08/2024	Scale:	1:600
Surveyed By:	SF	Approved:	SF
Local Gov:	GCCC	Prepared By:	ARS
Locality:	JACOBS WE	LL	

Lots 1102-1105



- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM100615, RL 1.798m AHD.
- 3. Contour Interval 0.25m
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0m

8. The compaction of earth fill will be undertaken as advised by Egis Group and in accordance with the requirements of the Australian Standard AS3798-2007.

LEGEND

Approximate Cut Area



Design Contours

Contours (interval 0.25m) based on the Australian Height Datum (AHD) as shown on engineering plan 22-000069-1200 Rev 2 provided by Egis Group.

Denotes depth of fill 1.0

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Scale 1:600

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Sheet 4 of 4

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Disclosure Plan Title: for Lots 1090-1105 (Stage 6B)

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Harbour Boulevarde, Jacobs Well being Part of Lot 601 on SP331925 (Calypso Bay)

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ROCHE GROUP PTY LTD Client:

		Approved: Scale:	SF 1:600
Surveyed By: SF		Approved:	SF
Local Gov: GC	CC	Prepared By:	ARS
Locality: JA0	COBS WELL		