

CALYPSO BAY

IDYLLIC WATERFRONT LIVING



RESIDENTIAL GUIDELINES SUMMARY

Residents' Leisure Club, 3 Recreation Place, Jacobs Well
(07) 5546 2666 | sales@calypsobay.com.au

calypsobay.com.au

31102023 | 7589032_1

01 THE DESIGN ASSESSMENT PANEL

The primary objective of the DAP is to ensure that all construction and landscaping on residential land in the scheme delivers the high standard of development and design required by these Residential Guidelines.

The aim of the DAP is not to be dictatorial in its approach, but to ensure that a harmonious environment for all residents is achieved through an interactive processing of proposals.

Whilst you must ensure that any proposal, and subsequent works carried out in accordance with that proposal, complies with all laws and requirements, the DAP may have regard to the requirements of GCCC, such as:

- a) Housing variety for improved Streetscape amenity, including articulated setbacks and varied housing forms and materials;
- b) Building envelope and structural form designed in sympathy with the environs and in context with surrounding development;
- c) Building and landscape design promoting Gold Coast Water's Waterwise programme; and
- d) Building siting, design and construction resulting in climatically responsive built form and promoting Planning Scheme Policy 5

1.1 HOW DOES THE DAP OPERATE?

Members of the DAP

- The Chairperson
- Record of Members
- Meetings
- Consultants
- Contractors
- The Developer
- The Body Corporate

1.2 WHAT FEES AND BONDS ARE PAYABLE?

FEE	AMOUNT	PAID BY
PRELIMINARY ASSESSMENT	\$165	Lot Owner
CONSTRUCTION BOND	\$5,000	Lot Owner
SUBMISSION FEE	\$1,000	Lot Owner

02 PROPOSAL

2.1 WHEN IS A PROPOSAL REQUIRED?

All works proposed for the Lot or directly associated with the Lot, such as a pontoon or planting on an adjacent footpath, must be approved by the DAP prior to you starting the works or seeking approval from a private certifier, GCCC or any other agency.

You must ensure that any proposal, and all works carried out in accordance with that proposal, complies with all laws and requirements.

2.2 WHAT IS THE APPROVAL PROCESS

Step 1

Submit your proposal to the DAP for assessment.

Step 2

Your proposal will be assessed for compliance by the DAP

Step 3

Upon receipt of your approved proposal, you must use the contained documents for use in seeking any statutory approvals.



	RESIDENTIAL LOTS	MODERN WATERFRONT LOTS	MODERN FAMILY LOTS
	Waterfront Lots over 600m ² & Dry lots over 600m ²	Waterfront Lots under 600m ²	Dry Lots over 400m ² -600m ²
PORCH Homes must provide a clearly visible entry from street	Min 1.5min width and Min 4m ² in area		
CAR PARKING	A minimum double car garage + a visitor car space on site		
STORAGE An enclosed lockable storage area of minimum	4.0m ² (No garden sheds allowed. The developer recommends additional storage to the garage, or a separate lockable storage area, under the home roofline)	2.0m ² (No garden sheds allowed. The developer recommends additional storage to the garage, or a separate lockable storage area, under the home roofline)	2.0m ² (No garden sheds allowed. The developer recommends additional storage to the garage, or a separate lockable storage area, under the home roofline)
CANAL SETBACKS	6.0m (Setbacks to the canal are to comply with the City of Gold Coast’s Standard drawing Waterway Development Cross Section)		
	No structures including pools, decks, retaining walls, stairs etc, with the exception of pontoons are to be built within 2.0m of the canal revetment wall/boundary.		
REAR & SIDE SETBACKS For carport, garage and services: water tanks, air-conditioning units, swimming pool equipment	1.5m unless otherwise specified		
HABITABLE GROUND FLOOR HEIGHTS	2.7m Single Storey Home 2.55m Two Storey Home		
EAVES DEPTH	0.45m, preferred 0.6m	0.45m, preferred 0.6m	0.45m, preferred 0.6m
	Windows to be recessed by 300mm when not protected by an eve, or have a 300mm rain hood		
MINIMUM FLOOR AREA	300m ² (Inclusive of garage, exclusive of alfresco and entry area)	200m ² (Inclusive of garage, exclusive of alfresco and entry area)	200m ² (Inclusive of garage, exclusive of alfresco and entry area)
MINIMUM FIRST FLOOR AREA	Minimum 40% of the floor below for homes adjoining a multiple dwelling site	Minimum 40% of the floor below for homes adjoining a multiple dwelling site	
MAXIMUM FIRST FLOOR AREA	Maximum 90% of the enclosed ground floor area	Maximum 90% of the enclosed ground floor area	
MAXIMUM WALL ALIGNMENT	A maximum of 50% of the second-floor wall to align with the first-floor walls	A maximum of 50% of the second-floor wall to align with the first-floor walls	
SLAB HEIGHT	Slab height to be no higher than 300mm above natural ground level		
POOLS & DECKS	Decks and pools are to comply with the side setback requirements when within the 6m canal setback or elevated above natural ground level.		

	RESIDENTIAL LOTS	MODERN WATERFRONT LOTS	MODERN FAMILY LOTS
	Waterfront Lots over 600m ² & Dry lots over 600m ²	Waterfront Lots under 600m ²	Dry Lots over 400m ² -600m ²
PROJECTIONS SETBACKS	All setbacks listed below are measured to the outer most projection	All setbacks listed below are measured to the building line. Eaves, hoods, screens, and projected architectural elements may extend into the setback	
FRONT SETBACKS	6.0m	6.0m to the primary building line 3.5m for a porch or verandah (3.0m for a roof or pergola)	4.5m to the primary building line 2.0m for porch or verandah (3.0m where an easement is present)
SECONDARY SETBACKS	6.0m	2.0m	2.0m
GARAGE SETBACKS	The garage is to be setback 1.0m behind the primary building line and positioned as per the preferred location of the developer		
	Triple garages, detached garages, carports and basements are permitted	Garage width is not to exceed 6.0m	
		No detached garages, basements or carports allowed	
SIDE SETBACKS	1.5m – Ground Floor (0m - 4.5m in height) 2.0m – First Floor (4.5m – 7.5m in height) 1.5m to carports and garages	0.9m (0.45m to eaves)	
REAR SETBACKS	Waterfront Lots 6.0m Dry Lots 1.5m	6.0m Swimming pools and decks are allowed to extend into the setbacks as per GCCC Standard Drawing Waterway Development Cross Section 05-04-004	2.5m
ZERO LOT LINE	Not allowed	13.0m max length on a side boundary for non-habitable rooms only (ie; garage, media room, ensuite). No windows are permitted.	
UPPER STORY ZONE	Max 50% wall alignment with Ground floor and Max 90% of Ground floor area	Max 50% wall alignment with Ground floor and Max 90% of Ground floor area	Max 50% wall alignment with Ground floor and Max 90% of Ground floor area
SITE COVER (MAXIMUM)	50%	60%	65%
HEIGHT	9.0m maximum (measured from the natural surface level)		
ROOF SLOPE	25 degrees for pitch roofs for single-storey house 22.5 degrees for pitch roofs for two-storey house 12 degrees for single storey skillion 7 degrees for double storey skillion Different pitches are acceptable if hidden from view by a parapet Verandah roofs may be a different pitch		

03 HOUSE DESIGN GUIDELINES

3.1 SITE PLANNING

The potential and characteristics of the Lot, its immediate surroundings and its setting within the natural environment are released in a sustainable and well-presented context.

You must:

- a) **Respect the privacy and amenity of neighbours**
- b) **Comply with all laws and requirements that relate to building setbacks, including (without limitation) the current GCCC Planning Scheme, the Standard Building Regulation (QLD), the Queensland Development Code, the Building Code of Australia and the relevant planning instrument for Calypso Bay approved by GCCC, with the exception that no works, (particularly garages, carports, rainwater tanks, air conditioning units and swimming pool equipment) other than soft landscaping, paving, fencing, and driveways, will be permitted to be located within 1.5m of any boundary, unless specifically stated otherwise in these Residential Guidelines**

3.2 HOUSE DESIGN

A wide variety of architectural styles and appropriate designs demonstrating unique features to ensure an appealing urban design outcome and *Streetscape*.

Solutions

The design of homes is encouraged to incorporate a high level of articulation to provide an interesting streetscape. Two homes with the same or similar elevations must not be established in close proximity. A minimum of six differences must be provided to distinguish between similar elevations:

- | | |
|-----------------------------|---------------------------------|
| - Roof line / design | - Cladding and materials |
| - Entry arrangement | - Porch size and arrangement |
| - Fencing | - Garage door profile |
| - Window location and sizes | - Front door design |
| - Colours | - External fixed screens, hoods |
| - Gable treatment | and awnings |

3.3 TWO-STOREY HOUSE

Prevent overlooking, minimise overshadowing, preserve the amenity of neighbours and deliver a visually appealing design, avoiding 'box' style solutions.

Solutions If the house is two storeys:

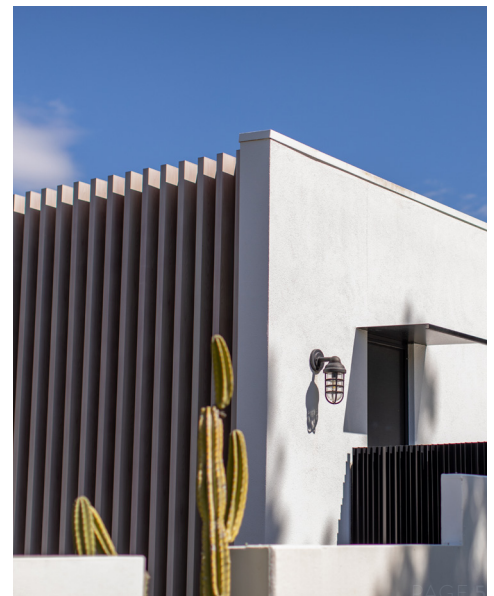
- It must not exceed 9.0m in overall height as measured from the natural surface level
- The DAP prefers that any first floor windows and balconies facing any private open space of adjoining land must provide a sill height or fixed and obscure windows to a minimum of 1.5m above finished floor or fixed external screening having 50% maximum openings

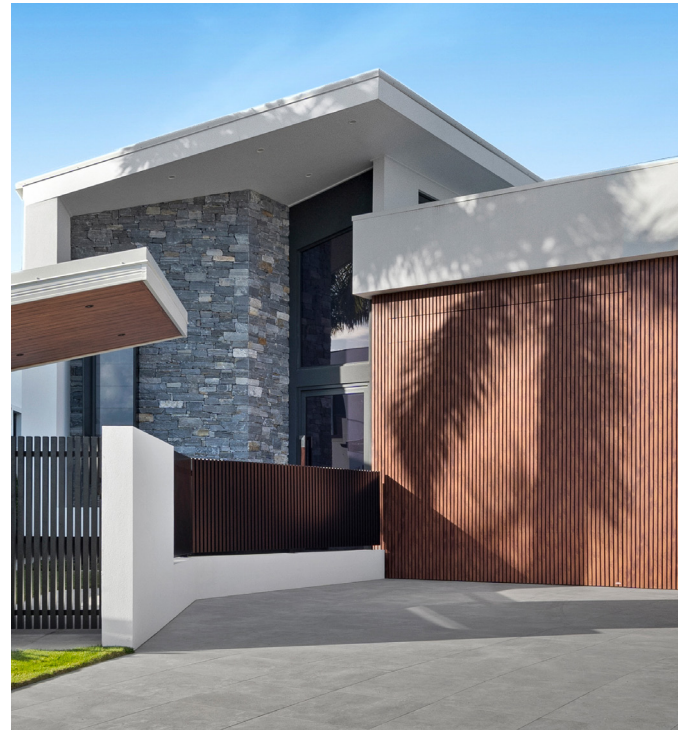
3.4 ROOF DESIGN

The roof expressed as a key architectural element, encapsulating the design vision of the house, enclosing an appealing composition of building mass and offering environmentally sustainable solutions.

Solutions

- The prevailing roof slope must be appropriate to the house design and will be considered based on individual design style, with traditional roof forms
- Other roof forms and slopes may be permitted based on architectural merit where it can be demonstrated that they offer an aesthetic enhancement to the house
- Where a verandah is provided, its roof may have a pitch that differs from that of the main roof, but complements the overall design of the house
- Other than the traditional verandahs or other architectural feature rooflines, the roofs of outdoor covered areas must be of the same pitch and material as the main roofs of the house
- Roof forms that present to any Frontage Boundary must be articulated and a single horizontal gutter line or parapet wall will not be approved.





3.5 OUTDOOR LIVING

Indoor/outdoor living in a location that relates well to the internal planning of the house, is located in the private open space, takes advantage of the natural features of the Lot and is designed in a manner that is integral to the style of the house

Solutions

- A covered outdoor living area must be provided in the private open space and be directly accessible from an internal living area by way of a door, as per GCCC guidelines

3.6 VEHICLE ACCOMMODATION

Adequate covered vehicle accommodation in a manner consistent with the design of the house in order to minimise the need for parking on streets, while also ensuring that vehicle manoeuvring and storage facilities presented to public areas are minimised.

Solutions

- At least a double lock-up garage must be provided, with further parking areas incorporated for any additional vehicles that are to be accommodated on the Lot on a permanent basis
- Garage doors must be of an automatic-type operation and not dominate the streetscape presentation of the Lot

3.7 SERVICE COURTS

A screened and functional service court for the accommodation of utilitarian items, not visible from the street and canal (if applicable).

Solution

The service court must be located away from the private open space and in a location where it is not highly visible from outside the Lot (both street and canal sides if applicable)

3.8 ANCILLARY STRUCTURES

Functionality, avoiding visual clutter and enhancing amenity by designing any ancillary structures in context with the overall design of the Lot.

Outbuildings

- Recreational outbuildings in the rear yard must match the architectural style of the dwelling and must be min. 2.0m from revetment wall and 1.5m from shared boundary. Utilitarian outbuildings are strongly discouraged and will be approved only if they are screened from view from outside the Lot or where the design demonstrates architectural merit.

Letterboxes

- Letter boxes are to be a simple, rendered masonry pillar with a metal inset for the mail. Letter boxes must be of a colour to complement the dwelling and its surrounds. However, letter boxes of a unique design, specifically coordinated with the design of the home and fencing will be considered

Swimming Pools

- No above ground swimming pools are permitted, with the exception of pools designed as a raised feature based on architectural merit. Fibreglass and concrete pools are permitted

Solar Collectors

- Solar collector panels must be located out of prominent view from a public area and fitted flat to the roof

3.9 COLOURS AND MATERIALS

Colours and materials to reflect current design trends and complement neighbouring houses.

Solutions

- All external walls are to be rendered or clad with differing materials. External walls of feature brick/block homes are generally not permitted, but if proposed must demonstrate architectural merit
- The use of 'Colorbond' or similar metal external cladding materials will only be approved in limited quantities, when it is determined to have architectural merit

04 LANDSCAPE DESIGN GUIDELINES

4.1 GENERAL LANDSCAPING

Preservation and enhancement of the characteristic landscape quality the developer has created in the community.

Solution

Landscaping plans are to be submitted with the DAP application, showing the automatic irrigation plan, conduit locations under slab and garden bed and plant selections

4.2 GARDEN DESIGN AND CONSTRUCTION

Complement the quality of landscape presentation at Calypso Bay and provide a visually pleasing setting for the house.

Solution

Secondary street frontages are to be similarly landscaped to primary street frontage

4.3 DRIVEWAYS

Driveways appropriately configured and constructed of quality, durable materials that are in context with the overall design and presentation of the house.

Solution

Driveway must be either exposed aggregate, coloured concrete or stencil. No broom-finished concrete accepted

4.4 FENCING

A consistent quality of fencing throughout the community in a style, colour and material appropriate to its context and purpose and that complies with any requirements of GCCC

Solution

Carry the same design, colour, material and finish to the house

a) Shared Boundary Fencing is mandatory and must:

Be 1.8m high as measured perpendicular to the natural surface level or, where the natural surface level is sloping.

b) Canal Frontage Fencing adjoining a waterway, or any common property located between the Lot and the Pimpama River is not mandatory but where provided must:

- Be 1.2m high
- Be constructed of standard metal tube or standard glass fencing

c) Street Frontage Fencing adjoining a street other than Parkside Drive is not mandatory, but where provided must:

- Be 1.5m high
- Be 50% transparent, including any vehicle or pedestrian gates. No front fencing is permitted on Lots where an easement is present

d) Connecting Fences are mandatory where required to screen the service court, recreational vehicle, or other utilitarian items and must be:

- 1.8m high
- Installed on the street and canal side, if applicable

e) Pool Fencing is to comply with GCCC regulations

f) For Modern Waterfront Lots and Modern Family Lots

No fencing is permissible forward of the primary building line along Moreton Drive, or if an easement is present



4.5 RETAINING WALLS

Retaining walls, where required to achieve a change in external land levels, are provided in a practical and visually appealing manner in context with the landscape design.

a) Retaining walls must not:

Exceed 1.0m in total height except walls required for a swimming pool or its surrounds, in which case the height may be 1.5m; any higher is subject to required approvals

4.6 LANDSCAPE MATERIAL SELECTIONS

Landscaping as a feature of the Lot through the selection of high-quality materials that are in keeping with the overall house design.

Solution

All external hard surface areas, including porches, driveways, pathways, patios, etc., must be constructed of high-quality material



such as feature stone, clay/concrete pavers, or tiles (laid on or over a concrete base) exposed aggregate concrete or coloured concrete with a stamped or stenciled finish. Plain concrete, gravel or asphalt paving will not be approved

4.7 PONTOONS

Consistent high-quality pontoons while also providing sufficient variety and choice to suit all types of vessel sizes and shapes.

Solutions

- a) An auxiliary proposal must be submitted for a pontoon if submitted separately to a Principal Proposal
- b) Pontoon designs prepared by nominated contractors have been pre-approved in principle and examples of these designs are available from the DAP upon request.



05 GENERAL

The Lot Owner acknowledges that:

- Calypso Bay is a quality residential community, and that the Seller and other owners have invested a great deal of money in creating and maintaining Calypso Bay as such
- They are bound by the sale contract by which they acquired their site in Calypso Bay to abide by these Residential Guidelines and by the decisions of the DAP
- Under the sale contract by which the Homeowner acquired their site in Calypso Bay, the Seller is entitled to vary, exclude, elect not to enforce and to interpret these Residential Guidelines in any way it determines in its discretion
- The Homeowner has limited rights to object to any variation or interpretation of these Residential Guidelines by the Seller
- If the home is rented, minimum rental period of 3 months permitted, no short term holiday rentals
- Driveways, fencing, landscaping and letterboxes must be completed within 3 months of occupational certificate of the home
- If the Lot or existing home is on sold, permission must be sought from the Developer and the Guidelines must be included in the contract of sale

06 CARE AND MAINTENANCE

6.1 NORMAL MAINTENANCE

The Buyer must:

- Maintain the Lot, free of excessive weeds, rubbish or garbage and keep all turfed garden areas presentable
- Bin storage will be screened from view from public areas. Location and detail to be provided on a Landscape Plan

6.2 OBLIGATORY SLASHING, MAINTAINING AND CLEARING

- Should DAP or the Seller notify the Buyer that mowing, maintaining or clearing of the Lot is necessary to maintain the tidy presentation of Calypso Bay; the Buyer must carry out the work within 14 days
- If the Buyer fails to comply with the request to mow, maintain or clean the Lot, DAP or the Seller may employ a contractor to carry out the request and the Buyer must pay the Seller the costs incurred by the Seller

6.3 CARAVANS, CAMPERVANS, TRAILERS, COMMERCIAL VEHICLES AND BOATS

- Caravans, campervans, trailers, commercial vehicles and boats may not be parked in the street, footpath or driveway. If stored on the Lot these vehicles are to be parked in the garage or suitably screened to the satisfaction of DAP. Unregistered cars must be garaged. Provisions must be allowed for the proper screening and housing of watercraft

6.4 TEMPORARY STRUCTURES

- No temporary or re-locatable structures are to be erected or located on the Lot, unless for use in conjunction with the construction of the home or ancillary structures and then must be removed immediately on completion of construction





CALYPSO BAY

Residents' Leisure Club, 3 Recreation Place, Jacobs Well
(07) 5546 2666 | sales@calypsobay.com.au

calypsobay.com.au

31102023 | 7589032_1